

# butters john bee<sup>bjb</sup>

land & new homes



16 Martin Street, Stafford, ST16 2LG

Guide Price £525,000

10193.40 sq ft

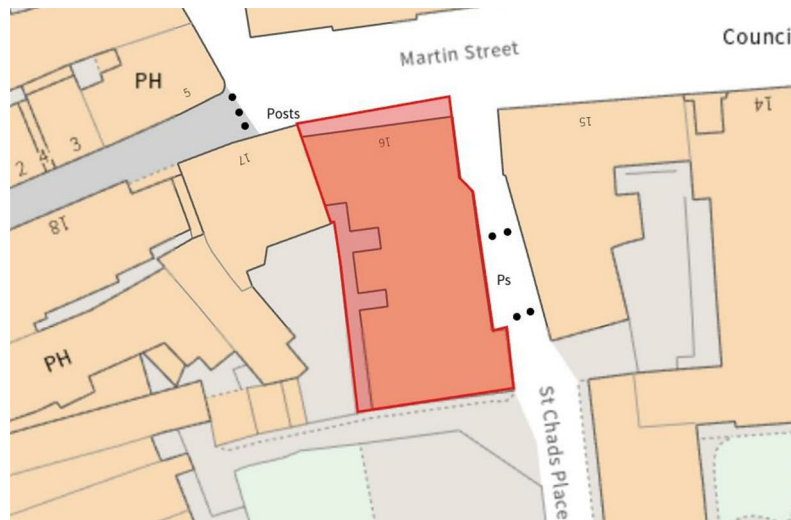
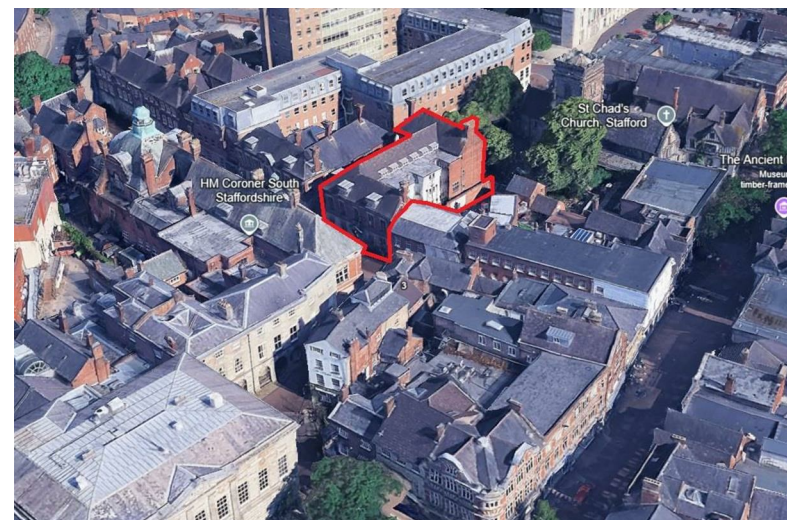
Grade II Listed Former Council Office

Full Planning for 17 Apartments

For Sale by Auction at 6:30pm on Monday 9th March 2026

at the Double Tree By Hilton Hotel, Festival Park, Stoke-on-Trent ST1 5BQ

Contact the Auction Team to Register: 0800 090 2200 or [auction@bjbmail.com](mailto:auction@bjbmail.com)





# 16 Martin Street

Stafford, ST16 2LG

## Guide Price £525,000



### Description

The property comprises a Grade II Listed former council office building located in Stafford Town Centre which we understand measures approximately 947 sq.m (Gross Internal Area). The property has full planning consent for conversion into 17 apartments.

There may be potential for alternative uses subject to the necessary planning permission and consents. It is important that prospective purchasers ensure they have inspected the site and rely upon their own enquiries, assessments and due diligence with regards to its current and potential uses.

### Location

The property is positioned in the heart of Stafford town centre, offering access to a wide range of everyday amenities, transport links and services. The property sits just a short walk from Stafford railway station, one of the region's key transport hubs with frequent national and regional rail connections, and close to numerous bus stops linking the town and wider area. This prominent location benefits from immediate access to Stafford's mix of shops, eateries, cafes and bank, and schools. Local healthcare, dental services and Stafford General Hospital are all in close proximity, while green spaces, parks and leisure facilities in and around the town centre add to the appeal.

### Planning & Supporting Information

The site benefits from full planning consent for 'Conversion of existing Grade 2 Listed Building into seventeen apartments' dated 24 Jan 2025 (Ref; 23/38070/FUL). This consent was granted in parallel with a listed building consent ref; 23/38071/LBC. A full info pack is available on request which includes the following:

- Decision Notices
- Proposed Plans
- Existing Plans
- Comparable Evidence
- Photos

NB: Whilst BJB will try and supply as much information as we can about the planning status of the land / property, please be mindful that we are not planning consultants and accordingly it is important that prospective purchasers ensure they have inspected the land / property and rely upon their own enquiries, assessments and due diligence with regards to the planning status and current or potential uses. All information is supplied in good faith and BJB cannot be held liable for any errors or omissions.

### Accommodation & Values

The proposed scheme comprises the following:

- Unit 1 - Studio Apartment - 37 sq.m  
Est. £80,000 & £650 pcm
- Unit 2 - Studio Apartment - 37 sq.m  
Est. £80,000 & £650 pcm
- Unit 3 - 2 Bed Apartment - 62 sq.m  
Est. £170,000 & £1,100 pcm
- Unit 4 - 2 Bed Apartment - 62 sq.m  
Est. £170,000 & £1,100 pcm
- Unit 5 - 1 Bed Apartment - 38 sq.m  
Est. £130,000 & £900 pcm
- Unit 6 - 1 Bed Apartment - 38 sq.m

Est. £130,000 & £900 pcm

Unit 7 - Studio Apartment - 37 sq.m

Est. £80,000 & £650 pcm

Unit 8 - Studio Apartment - 37 sq.m

Est. £80,000 & £650 pcm

Unit 9 - 1 Bed Apartment - 42 sq.m

Est. £130,000 & £900 pcm

Unit 10 - 1 Bed Apartment - 42 sq.m

Est. £130,000 & £900 pcm

Unit 11 - 1 Bed Apartment - 38 sq.m

Est. £130,000 & £900 pcm

Unit 12 - 1 Bed Apartment - 38 sq.m

Est. £130,000 & £900 pcm

Unit 13 - 1 Bed Apartment - 88 sq.m

Est. £130,000 & £900 pcm

Unit 14 - 1 Bed Apartment - 42 sq.m

Est. £130,000 & £900 pcm

Unit 15 - 1 Bed Apartment - 42 sq.m

Est. £130,000 & £900 pcm

Unit 16 - 1 Bed Apartment - 38 sq.m

Est. £130,000 & £900 pcm

Unit 17 - 1 Bed Apartment - 38 sq.m

Estimated GDV: £2,090,000

Estimated Annual Rent: £176,400

Any sizes / measurements quoted by BJB are correct to the best of our knowledge, however we would recommend all interest parties carry out their own checks before relying on any information provided.

### Local Council

The site is located in the Council district of Stafford Borough Council <https://www.staffordbc.gov.uk/>.

### Business Rates

We understand the current Rateable Value for the property is £54,500 pa.

### Tenure.

Freehold with vacant possession upon completion.

### VAT

All prices quoted by Butters John Bee are exclusive of VAT unless otherwise stated. All interested parties should make their own enquiries to satisfy themselves with the VAT position.

### Pre-Auction Offers.

Any pre-Auction offers should be submitted via e-mail to [residential-land@bjbmail.com](mailto:residential-land@bjbmail.com). All offers will be forwarded to the client for consideration, but please be aware that the majority of clients prefer to let the marketing run for a period, prior to giving serious consideration to accepting any pre-Auction offer.

### Common Auction Conditions.

This property is sold subject to our Common Auction Conditions (a copy is available on request).

### Buyers Admin Fee.

A buyers administration fee of £3,600 including VAT is applicable to this lot. The purchaser will pay the fee whether the property is bought before, at or following the auction date.

### Legal Pack.

Purchasing a property at auction is a firm commitment that carries the same legal implications as a signed contract by private treaty. It is important that you consult with your legal adviser before bidding and also your accountant regarding the impact of VAT, if applicable, on the sale price. The legal pack can be viewed online via our website [www.buttersjohnbee.com](http://www.buttersjohnbee.com). Legal packs can also be viewed at the selling office. These documents should be passed to your legal adviser as they will help you make an informed decision about the lot. If you need further legal information please contact the vendor's solicitor whose details will be in the auction catalogue. Remember that you buy subject to all documentation and terms of contract whether or not you have read them.

### Addendum.

Check the latest addendum at [buttersjohnbee.com](http://buttersjohnbee.com) for any alterations or changes to the catalogue.

### Deposit

Please note that a deposit of 10% of the purchase price (Min £3,000) will be due on Exchange of Contracts, whether the land / property is sold prior to Auction, in the Auction room or after the Auction.

### Internet, Telephone and Proxy Bidding

We are pleased to announce that we are now back in the Auction room at the Double Tree Hilton Hotel (Moat House). However, we also have the other bidding options available: On-Line / Telephone / By-Proxy. You will need to register in advance and provide two forms of ID. Register at [www.buttersjohnbee.com/auction](http://www.buttersjohnbee.com/auction) or contact the Auction Team on 0800 090 2200 or [auction@bjbmail.com](mailto:auction@bjbmail.com).

### Legal Costs

Please refer to the auction pack in respect of any legal fees or search fees which may be due upon exchange or completion.

### Viewings

Strictly By Appointment with the BJB Land & New Homes Team.

### All Enquiries

Alex Djukic BSc MSc  
Regional Land Manager  
Land & New Homes Team  
[residential-land@bjbmail.com](mailto:residential-land@bjbmail.com)  
01782 211147

### Spicerhaart

Butters John Bee are part of the Spicerhaart Group which is one of the leading estate agency groups in the UK. Our independent residential sales and lettings network, which is the biggest in the UK, is made up of our seven established estate agencies in England & Wales which also includes: Haart, Chewton Rose, Felicity J Lord, Haybrook, Howards and Darlows.

### BJB Land & Development Team

The BJB Land & Development Team deals in all aspects residential development & conversion including: Land Sales & Acquisition, Auction Sales, Strategic Land, RICS Valuations, New Homes Market Pricing, Assisted Living & Social Housing Projects, Access & Easement negotiations. Please contact the team for a no-obligation discussion on how we might be able to assist:

Paul G. Beardmore BSc MRICS, Director, [paulbeardmore@bjbmail.com](mailto:paulbeardmore@bjbmail.com) 07809 215045

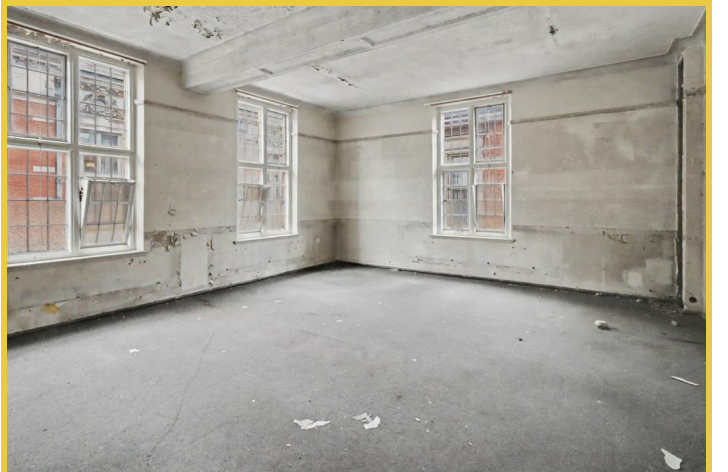
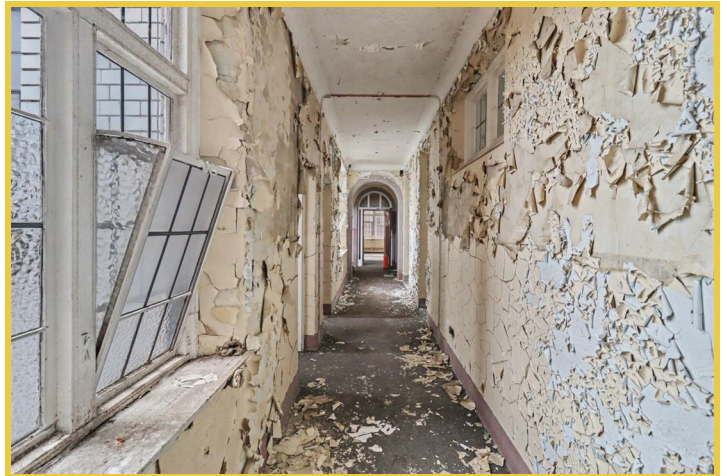
Alex Djukic BSc MSc, Regional Land Manager, [alexdjukic@bjbmail.com](mailto:alexdjukic@bjbmail.com) 07587 038878

Paul Martin, New Homes Senior Regional Manager, [paulmartin@spicerhaart.co.uk](mailto:paulmartin@spicerhaart.co.uk) 07587 405730

Joe Boulton BSc, Assistant Land Manager, [Joeboulton@bjbmail.com](mailto:Joeboulton@bjbmail.com) 07741 152180

Margaret Tinsley, Land Administrator & Business Support, [residential-land@bjbmail.com](mailto:residential-land@bjbmail.com) 01782 211147

Whilst the origins of the business are centred in Stoke-on-Trent, we cover anywhere between Manchester & Birmingham and Wrexham & Burton-on-Trent with wider coverage available via our Spicerhaart colleagues.





## Road Map



## Hybrid Map



## Terrain Map



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.